



CANDOR CENTRAL SCHOOL DISTRICT
2023 CAPITAL IMPROVEMENT PROJECT - PHASE 2
VOLUME 2 OF 2: CANDOR ELEMENTARY

VOLUME 2 OF 2 - ELEMENTARY (BLDG B)

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KING+KING PROJECT NUMBER: 25-44-8764
 SED PROJECT NUMBERS:
 A: JR/SR HIGH SCHOOL: 60-03-01-04-0-001-015
 B: ELEMENTARY SCHOOL: 60-03-01-04-0-003-013
 C: BUS GARAGE: NO WORK

CANDOR CENTRAL SCHOOL DISTRICT
 2023 CAPITAL IMPROVEMENT PROJECT -
 PHASE 2 ELEMENTARY SCHOOL



A CANDOR JUNIOR/SENIOR HIGH SCHOOL
 1 Academy Street
 Candor, New York 13743
 SED #: 60-03-01-04-0-001-015

TRUE NORTH PROJECT NORTH



B CANDOR ELEMENTARY SCHOOL
 2 Academy Street
 Candor, New York 13743
 SED #: 60-03-01-04-0-003-013

TRUE NORTH PROJECT NORTH

king + king
 ARCHITECTS
 358 West Jefferson Street
 Syracuse, NY 13202
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ARCHITECT'S CERTIFICATION
 THE UNDERSIGNED CERTIFIES THAT TO THE BEST OF THEIR KNOWLEDGE, INFORMATION, AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND THE CONSTRUCTION STANDARDS OF THE EDUCATION DEPARTMENT AND THE NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 56.

ISSUED FOR BID - 02/26/2026

100% CONSTRUCTION DOCUMENTS

12/01/2025

king + king
 ARCHITECTS

GENERAL NOTES:

GENERAL NOTES - ALL TRADES
 G-1 ALL OTHER AREAS OF THE BUILDING WHERE ANY WORK IS TO BE DONE SHALL REMAIN IN USE DURING CONSTRUCTION. THEREFORE, SPECIAL CARE SHALL BE TAKEN TO CLEAN UP AFTER ALL OPERATIONS IN ORDER TO KEEP THE AREA AND SITE AS CLEAN AS POSSIBLE AND TO THE OWNER'S SATISFACTION.
 G-2 AT ALL TIMES THAT WORK IS GOING ON, DUST TIGHT PARTITIONS SHALL BE INSTALLED AROUND THE LOCATION OF WORK TAKING PLACE. THE EXTENT AND LOCATION OF THESE PARTITIONS SHALL BE COORDINATED WITH THE OWNER.
 G-3 ALL EXISTING FINISHES, WORK, EQUIPMENT AND STRUCTURE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. ALL EXISTING SURFACES, WORK, EQUIPMENT, AND STRUCTURE WHICH ARE DAMAGED OR REMOVED DUE TO DEMOLITION, OR NEW WORK SHALL BE REPAIRED AND PATCHED WITH MATCHING CONSTRUCTION AND FINISHES.
 G-4 NOTED EXISTING AND NEW SURFACES ARE TO BE PREPARED TO RECEIVE NEW FINISHES, INCLUDING FINISH PATCHING OF NEW AND EXISTING HOLES, VOIDS, CRACKS, CLEANING OF SURFACES AS PER MANUFACTURER'S INSTRUCTIONS, ETC.
 G-5 WHERE EQUIPMENT, ETC. HAS BEEN REMOVED BY OWNER, CONTRACTOR TO PATCH SURFACES TO MATCH EXISTING AND PREPARE SURFACES FOR NEW FINISH.
 G-6 WORK SHALL NOT INTERFERE WITH LEGAL FIRE EXITS. ALL CORRIDORS AND EXIT STAIRS SHALL BE MAINTAINED AT ALL TIMES.

BUILDING INFORMATION:

OCCUPANCY CLASSIFICATION: Group E - Educational
 (PER 2020 BUILDING CODE OF NYS - SECTION 305)
CONSTRUCTION CLASSIFICATION:
 EXISTING: Partitions IA and Partitions IB
SITE ACCESSIBLE: 4 Sides
ALLOWABLE BLDG. AREA: 2A - 46,375 SF and 2B - 25,375 SF
ACTUAL BLDG. AREA: 84,556 SF
ALLOWABLE HEIGHT IN STORIES: 2A - 3 (66 Feet) and 2B - 2 (55 Feet)
 (PER 2020 BUILDING CODE OF NYS - SECTION 504)
ACTUAL HEIGHT IN STORIES: 1 (30 Feet)
ROOM SQUARE FOOTAGES: SEE CODE COMPLIANCE PLANS

EMERGENCY EGRESS LEGEND:

36" E.W. EXIT WIDTH PER OPENING
 RW NEW RESCUE WINDOW LOCATIONS
 BLDG A: 2 BUILDING AREA

RATED PARTITION LEGEND:

SMOKE PARTITION
 1 HR. FIRE RATED PARTITION
 2 HR. FIRE BARRIER

CONSTRUCTION TYPE DESIGNATIONS:

MINIMAL / NO WORK
 ALTERATION L1
 ALTERATION L2
 ALTERATION L3
 NEW CONSTRUCTION / ADDITION

GENERAL LEGEND:

NWC/NDF NEW WATER COOLER/DRINKING FOUNTAIN
 EWC/EDF EXG. WATER COOLER/DRINKING FOUNTAIN
 N.F.E. NEW FIRE EXTINGUISHER LOCATION
 E.F.E. EXISTING FIRE EXTINGUISHER LOCATION

OCCUPANCY LEGEND:

NON-ASSEMBLY SPACES:

ROOM OCCUPANCY
 ROOM NUMBER CLASSROOM (110) ROOM GROSS SQUARE FOOTAGE
 50 2 MINIMUM REQUIRED EXIT
 MAXIMUM OCCUPANCY

ASSEMBLY SPACES (PER NYSBC, SECTION 1025):

MAXIMUM OCCUPANCY
 100 max. occup. 36" EGRESS WIDTH PROVIDED

GENERAL NOTES:

SEE REFLECTED CEILING PLAN DRAWING(S) FOR SMOKE BAFLE LOCATIONS IN NEW WORK AND RENOVATED AREAS.

MAX. FLOOR AREA ALLOWANCES PER OCCUPANT IN SQUARE FEET (PER 2020 BUILDING CODE OF NYS - SECTION 1004)

CLASSROOMS - 20 net
 LOCKER ROOMS - 50 gross
 SHOPS - 50 net
 LIBRARY READING AREAS - 50 net
 LIBRARY STACK AREAS - 100 gross
 AUDITORIUMS - 7 net
 GYMNASIUM - 5 net
 CAFETERIA - 7 net
 ACCESSORY STORAGE/MECHANICAL - 300 gross

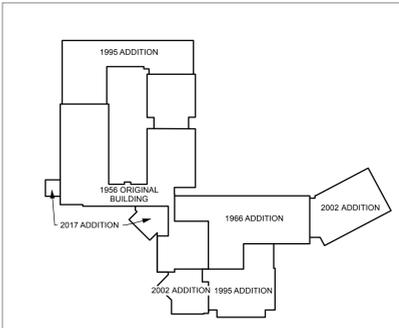
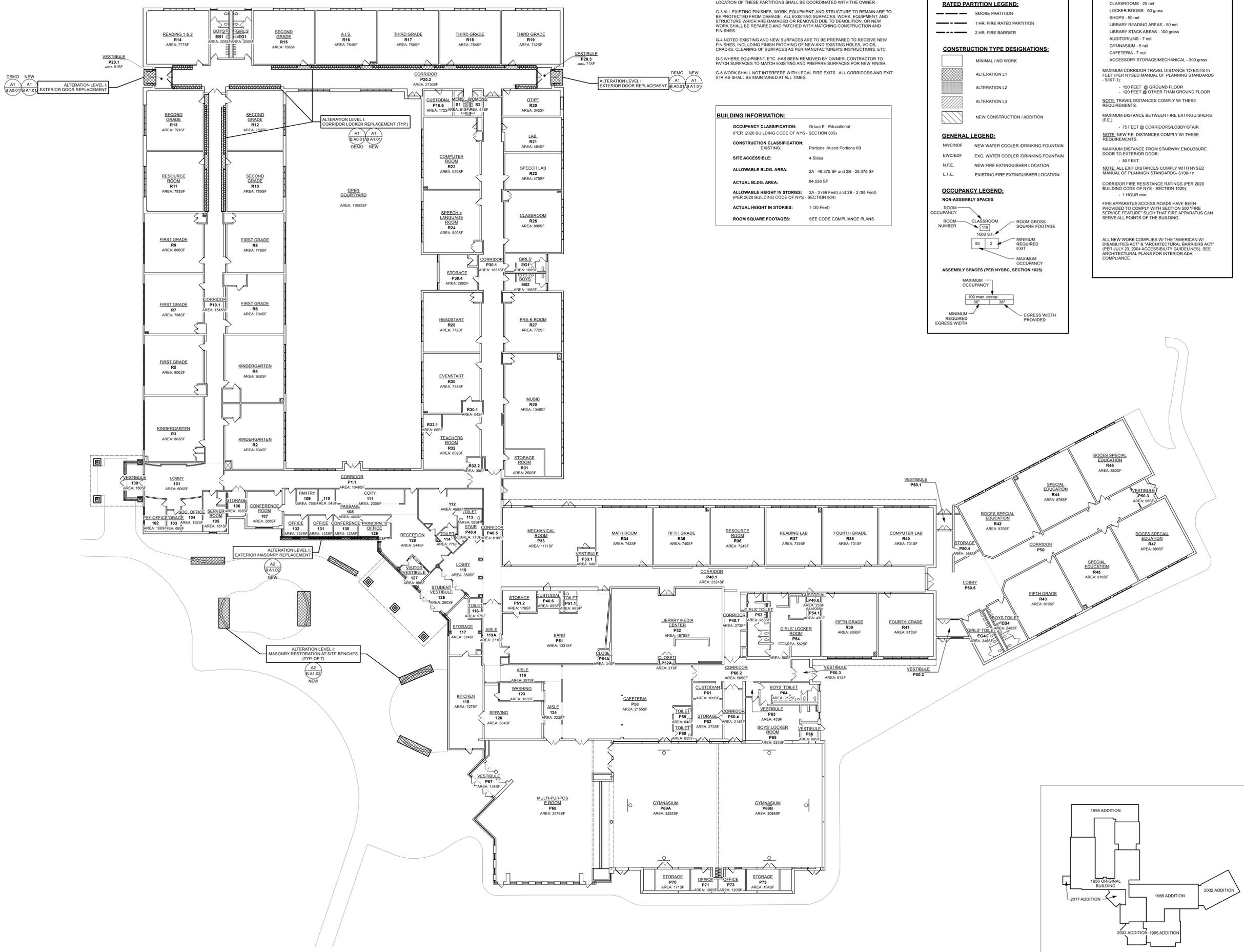
MAXIMUM CORRIDOR TRAVEL DISTANCE TO EXITS IN FEET (PER NYSBC MANAGEMENT OF PLANNING STANDARDS - S107-1):
 - 150 FEET @ GROUND FLOOR
 - 120 FEET @ OTHER THAN GROUND FLOOR

NOTE: TRAVEL DISTANCES COMPLY WITH THESE REQUIREMENTS.
 MAXIMUM DISTANCE BETWEEN FIRE EXTINGUISHERS (F.E.):
 - 75 FEET @ CORRIDORS/LOBBY/STAIR REQUIREMENTS.
 MAXIMUM DISTANCE FROM STAIRWAY ENCLOSURE DOOR TO EXTERIOR DOOR:
 - 50 FEET

NOTE: ALL EXIT DISTANCES COMPLY WITH NYSBC MANUAL OF PLANNING STANDARDS- S108-1c
 CORRIDOR FIRE RESISTANCE RATINGS (PER 2020 BUILDING CODE OF NYS - SECTION 1020):
 - 1 HOUR min.

FIRE APPARATUS ACCESS ROADS HAVE BEEN PROVIDED TO COMPLY WITH SECTION 500 "FIRE SERVICE FEATURE" SUCH THAT FIRE APPARATUS CAN SERVE ALL POINTS OF THE BUILDING.

ALL NEW WORK COMPLIES WITH THE "AMERICAN W/ DISABILITIES ACT" & "ARCHITECTURAL BARRIERS ACT" (PER JULY 23, 2004 ACCESSIBILITY GUIDELINES). SEE ARCHITECTURAL PLANS FOR INTERIOR ADA COMPLIANCE.



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KING + KING PROJ. NO.: 25-44-8764

SEB PROJECT NUMBERS:
JR/SR High School: 65-03-01-04-0-001-015
Elementary School: 65-03-01-04-0-003-013
Bus Garage: NO WORK



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DATE	DESCRIPTION
02/26/2028	ISSUED FOR BID
12/01/2025	100% CONSTRUCTION DOCUMENTS
	DRAWING DATE: 12/01/2025
	DRAWN BY: BM

SCALE: Sheet Scale
DRAWING TITLE:
SITE SURVEY and SITE PREPARATION PLAN

SURVEY NOTES - ELEMENTARY SCHOOL

BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM THE FOLLOWING:
TITLE "TOPOGRAPHIC AND BOUNDARY SURVEY, CANDOR C.S.D. MAIN CAMPUS, VILLAGE OF CANDOR, TIOGA COUNTY, NY, PREPARED BY BOLTON LAND SURVEYING P.C., P.O. BOX 265, FULASKI, NY 13142, TEL: (315)298-5200, DATED JUNE 09, 2013.

MAP REFERENCES:
1) CANDOR C.S.D. 2000 CAPITAL IMPROVEMENTS, SITE 4 SEPTIC SYSTEM PLANS BY BEARSH COMPEAU KNUDSON ARCHITECTS & ENGINEERS AND DATED 7/17/2000.
2) CANDOR C.S.D. ADDITIONS & RECONSTRUCTION PROJECT, SITE PLANS BY BERNIER, CARR & ASSOCIATES, P.C. AND DATED 10/11/1994.
3) CANDOR ELEMENTARY SCHOOL, CANDOR, NY, SITE PLAN, BY SARGENT WEBSTER CRENSHAW & FOLEY AND DATED 3/4/1992.

MAP NOTES:
1) NORTH ORIENTATION IS PER N.Y.S. PLANE NAD 83 COORDINATES (CENTRAL ZONE).
2) VERTICAL DATUM IS NAVD 88.
3) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
4) UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, AND FROM PAROLE TESTIMONY MADE BY SCHOOL, DISTRICT AND UTILITY COMPANY PERSONNEL. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
5) FLOOD DATA FROM A COMMUNITY PANEL NUMBER 36107C003556 DATED 4/11/2002, PORTION OF PROPERTY IN ZONE A = 1% ANNUAL FLOOD CHANCE.

UTILITY INFORMATION:
SERVICE OPERATING AUTHORITY
ELECTRIC NYSEG BINGHAMTON ELECTRIC
NATURAL GAS NYSEG BINGHAMTON GAS
WATER VILLAGE OF CANDOR
TELEPHONE FRONTIER USG NY
SANITARY VILLAGE OF CANDOR
SANITARY CHARTER COMMUNICATIONS NORTHEAST ONY

BENCHMARKS:
BM-1: SPIKE IN UTILITY POLE LOCATED OUTSIDE 80' MAIN STREET ELEV. = 8918 (NOT SHOWN ON PLANS)
BM-2: TOP NUT ON HYDRANT LOCATED BEHIND 58' MAIN STREET ELEV. = 892.60
BM-3: TOP NUT ON HYDRANT LOCATED WEST OF TRACK AND GRANDSTAND. ELEV. = 891.60
BM-4: TOP NUT ON HYDRANT LOCATED BETWEEN ELEMENTARY SCHOOL AND JUNIOR/SENIOR HIGH SCHOOL. ELEV. = 898.84
BM-5: TOP NUT ON HYDRANT LOCATED NORTH OF ELEMENTARY SCHOOL SOFTBALL FIELD. ELEV. = 820.10 (NOT SHOWN ON PLANS)

SURVEY VERIFICATION/COORDINATION - ELEMENTARY SCHOOL

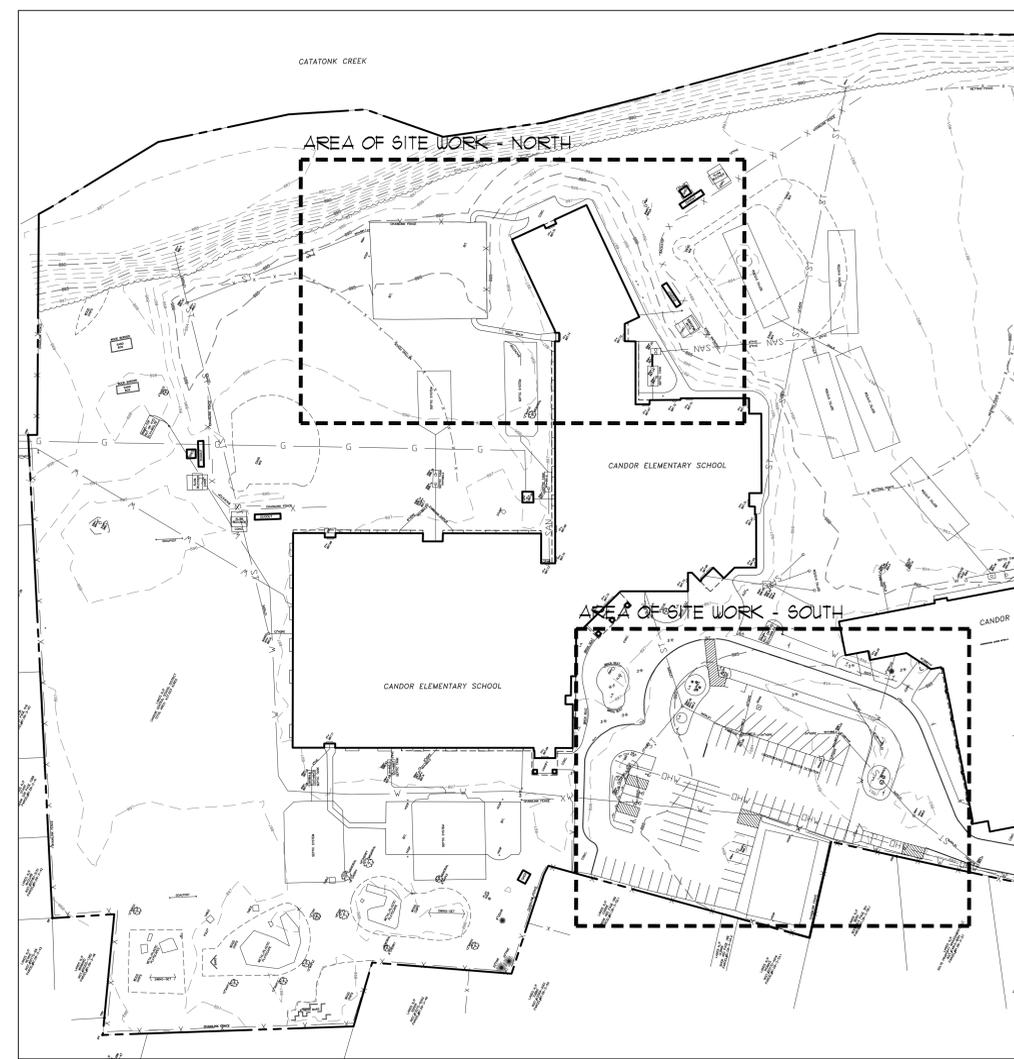
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION / COORDINATION OF ALL INFORMATION (BENCHMARKS, ELEVATIONS, UTILITIES, ELEMENTS, TREES, ETC.) SHOWN ON THIS SURVEY AND CALIBRATING THIS INFORMATION WITH ACTUAL "IN THE FIELD" DATA. THIS SURVEY IS PROVIDED FOR THE BENEFIT OF THE CONTRACTOR AND GENERAL DESIGN INTENT IS SHOWN. NO ADDITIONAL COSTS WILL BE ALLOWED SHOULD INFORMATION SHOWN ON THE SURVEY AND FIELD DATA VARY.

LEGEND - ELEMENTARY SCHOOL

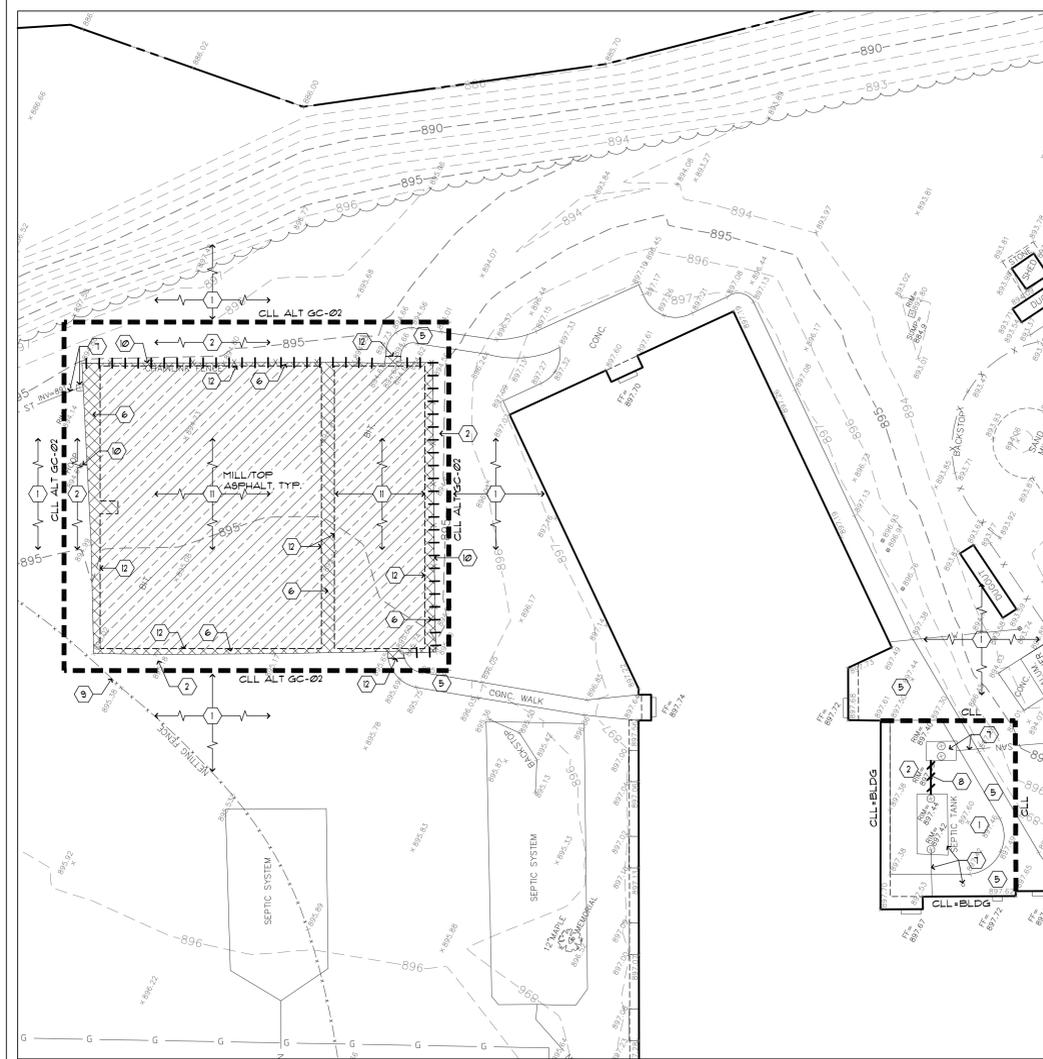
EXISTING	PROPOSED	DESCRIPTION
---	---	CONTRACT LIMIT LINE
---	---	STREET LINE / PROPERTY EDGE
---	---	CONTOUR
---	---	CURB
---	---	PAVEMENT EDGE
---	---	SAW CUT LINE
---	---	OVERHEAD WIRES
---	---	WATER LINE
---	---	GAS LINE
---	---	BURIED TELEPHONE LINE
---	---	BURIED FIBER OPTIC LINE
---	---	BURIED ELECTRIC LINE
---	---	SANITARY SEWER - SIZE / TYPE
---	---	STORM SEWER - SIZE / TYPE
---	---	REMOVE UTILITY
---	---	UTILITY POLE
---	---	UTILITY POLE WITH LIGHT
---	---	GUY WIRE
---	---	LIGHT POLE
---	---	IRON ROD FOUND
---	---	IRON PIPE FOUND
---	---	ELECTRIC TRANSFORMER
---	---	ELECTRIC METER
---	---	ELECTRIC RISER
---	---	METAL BOLLARD
---	---	TRAFFIC SIGN
---	---	FIRE HYDRANT
---	---	WATER VALVE
---	---	CATCH BASIN / STORM INLET AREA DRAIN
---	---	STORM MANHOLE / DRYWELL
---	---	SANITARY MANHOLE
---	---	CLEANOUT
---	---	GAS VALVE
---	---	VINYL CLAD CHAIN LINK FENCE
---	---	FENCE REMOVAL
---	---	SPOT GRADE
---	---	FIELD VERIFY
---	---	TYPICAL
---	---	SITE WORK ALTERNATE
---	---	EDGE OF WOODS
---	---	TREES / SHRUBS
---	---	DRAINAGE FLOW DIRECTION
---	---	DETAIL FLAG
---	---	CONSTRUCTION NOTE
---	---	REMOVE EXISTING PAVEMENT
---	---	1/2" ASPHALT MILLING AND TACK COAT
---	---	1/2" ASPHALT WEARING COURSE
---	---	MEDIUM DUTY ASPHALT
---	---	HEAVY DUTY ASPHALT
---	---	LAWN - 4" TOPSOIL AND 80D

PARKING SUMMARY - ELEMENTARY SCHOOL

LOT	EXISTING	PROPOSED	HC
MAIN PARKING LOT	16	16 (NO CHANGE)	4
TOTAL CAR PARKING	16	16 (NO CHANGE)	4 (4 REQ.)



SITE SURVEY - ELEMENTARY SCHOOL
SCALE IN FEET: 0, 30, 60, 120, 180



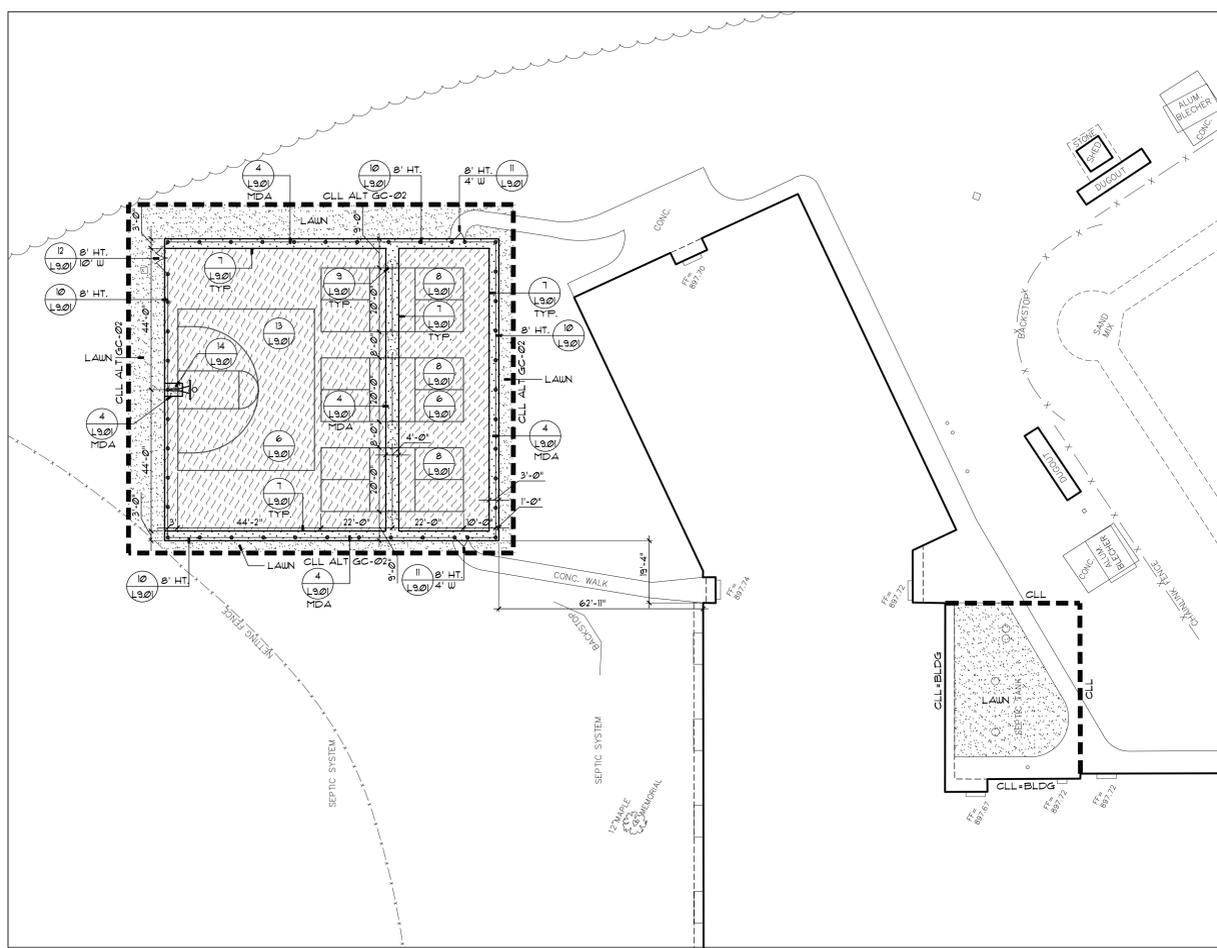
SITE PREPARATION PLAN - NORTH
SCALE IN FEET: 0, 10, 20, 40, 60



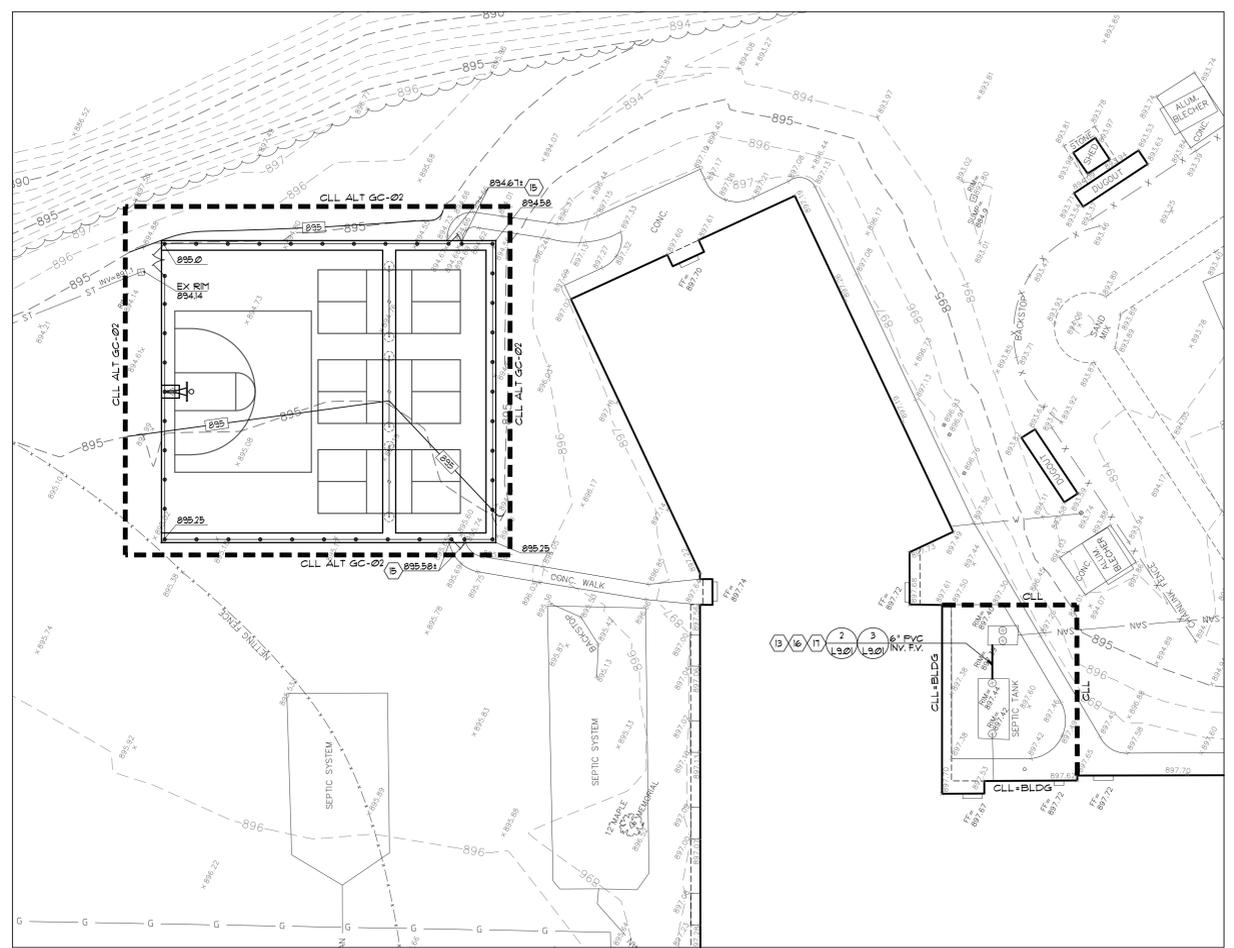
SITE PREPARATION PLAN - SOUTH
SCALE IN FEET: 0, 10, 20, 40, 60

SITE PREPARATION and CONSTRUCTION NOTES - ELEMENTARY SCHOOL

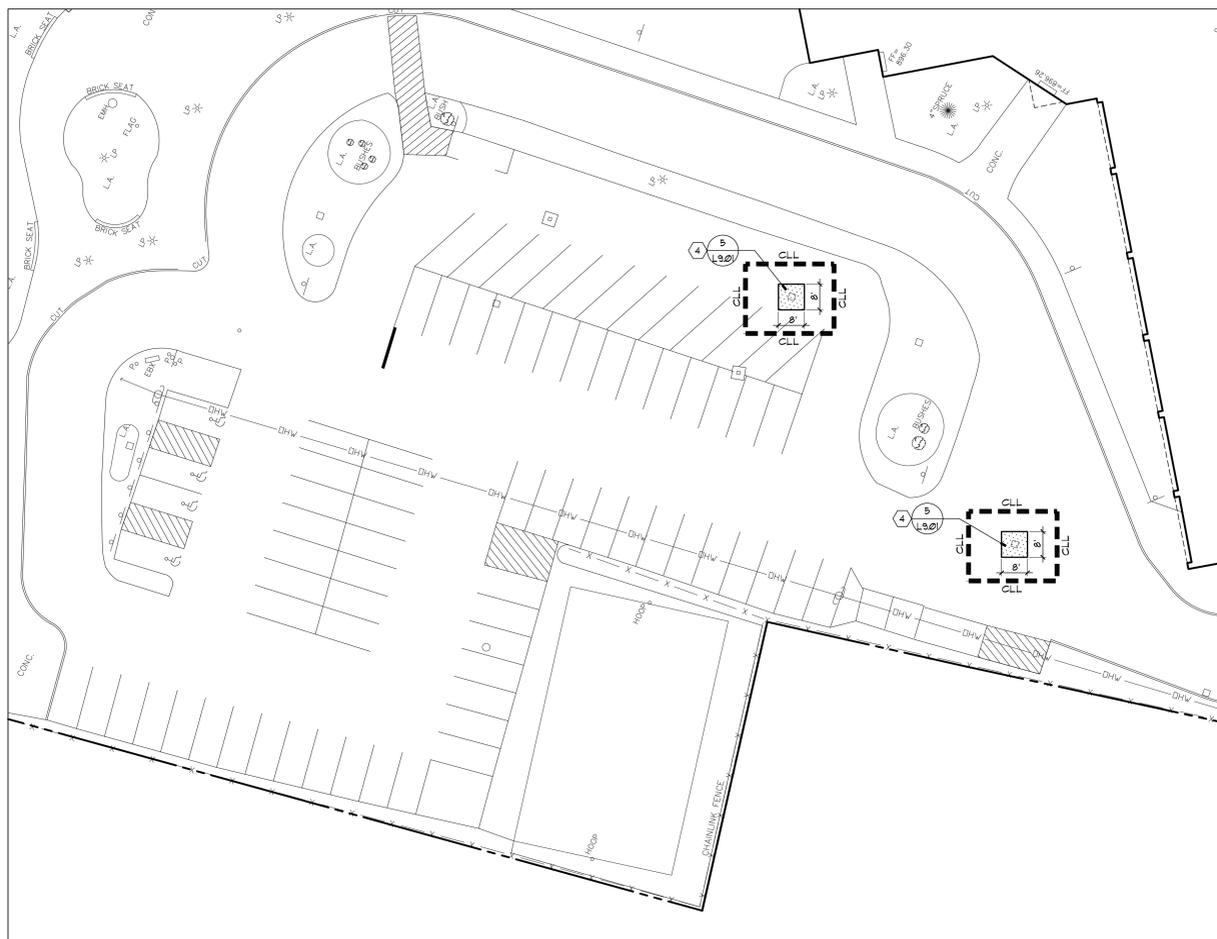
- EXISTING LAWN AREA REMAINS. PROTECT.
- STRIP EXISTING TOPSOIL AND STOCK PILE FOR REUSE ON SITE IN AN AREA AS SHOWN ON PLANS OR AS DIRECTED BY THE OWNER. TEMPORARILY SEED ENTIRE FILE IMMEDIATELY AND SURROUND WITH SILT FENCE.
- EXISTING VEGETATION REMAINS. PROTECT AT ALL TIMES AS SHOWN ON THE PLANS AND AS SPECIFIED. DO NOT PARK VEHICLES/EQUIPMENT OR STORE MATERIALS WITHIN DRIP LINES OF TREES.
- PROVIDE HOT TAR ASPHALT CRACK SEALER BETWEEN EXISTING AND NEW ASPHALT JOINT.
- EXISTING PAVEMENT REMAINS. PROTECT. REPLACE ANY PAVEMENT DAMAGED DURING CONSTRUCTION.
- REMOVE EXISTING PAVEMENT SURFACE AND HAUL OFF SITE. REMOVE GRANULAR BASE COURSE AND HAUL OFF SITE.
- EXISTING SITE UTILITY REMAINS. PROTECT.
- REMOVE EXISTING SITE UTILITY DISPOSE OFF SITE AND BACK FILL VOID WITH IMPORTED GRANULAR BACKFILL, COMPACTED TO MINIMUM 95% OF IN PLACE DRY DENSITY.
- EXISTING SITE FEATURE REMAINS. PROTECT.
- REMOVE EXISTING SITE FEATURE AND DISPOSE OFF SITE INCLUDING ANY ASSOCIATED FOOTINGS OR UNDERDRAINS. BACKFILL VOID WITH IMPORTED GRANULAR BACKFILL COMPACTED TO 95% OF IN PLACE DRY DENSITY.
- MILL EXISTING ASPHALT MATERIAL TO 1-1/2" DEPTH MINIMUM. REMOVE AND HAUL OFF SITE. REPLACE ANY PAVEMENT DAMAGED DURING CONSTRUCTION WITH SAME MATERIAL AS ADJACENT AND AS DIRECTED BY THE ARCHITECT. REPAIR ANY CRACKED OR DISPLACE PAVEMENT BENEATH MILLINGS TO PROVIDE A STABLE BASE SATISFACTORY TO THE ARCHITECT AS DETAILED AND SPECIFIED. SUEP, POWERWASH AND CLEAN ENTIRE MILLED SURFACE. INSTALL NYSDOT APPROVED TACK COAT TO MILLED SURFACE AND PAVE AS DETAILED AND SPECIFIED.
- SAW CUT NEAT, STRAIGHT EDGE. PRIOR TO PAVING, AT SIDEWALKS REMOVE AT NEAREST SCORE JOINT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION, ELEVATION, INVERT, SIZE AND TYPE OF EXISTING PIPE/UTILITY PRIOR TO ORDERING MATERIALS AND CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCY IMMEDIATELY.
- ADJUST UTILITY TO FINISHED GRADE. FURNISH ALL LABOR AND MATERIAL TO ACCOMPLISH.
- MEET EXISTING LINE AND GRADE.
- PROVIDE FERROU COUPLER OR SIMILAR SILT TIGHT JOINT BETWEEN EXISTING PIPE AND NEW STORM PIPE. ALLOW INSPECTION BY ARCHITECT PRIOR TO BACKFILLING. NOTIFY ARCHITECT WHEN READY TO BACKFILL WHEN CONNECTING DISSIMILAR PIPES. PROVIDE MARMAC DISSIMILAR PIPE COUPLER.
- CORE INTO EXISTING STRUCTURE TO ALLOW INSTALLATION OF PROPOSED PIPE. MORTAR VOID BETWEEN OUTSIDE OF PIPE WALL TO STRUCTURE EDGE WATER TIGHT. CLEAN EXISTING STRUCTURE OF ANY DEBRIS PRIOR TO INSTALLATION OF NEW PIPE.



LAYOUT PLAN - NORTH



GRADING and DRAINAGE PLAN - NORTH



LAYOUT PLAN - SOUTH



GRADING and DRAINAGE PLAN - SOUTH

CANDOR CENTRAL SCHOOL DISTRICT
2023 CAPITAL IMPROVEMENT PROJECT - PHASE 2
ELEMENTARY SCHOOL

1 ACADEMY STREET
CANDOR, NY 13743

KING + KING PROJ. NO.: 25-44-8764

SED PROJECT NUMBERS:
RRR High School: 60-63-01-04-0-001-015
Elementary School: 60-63-01-04-0-003-013
Bus Garage: NO WORK



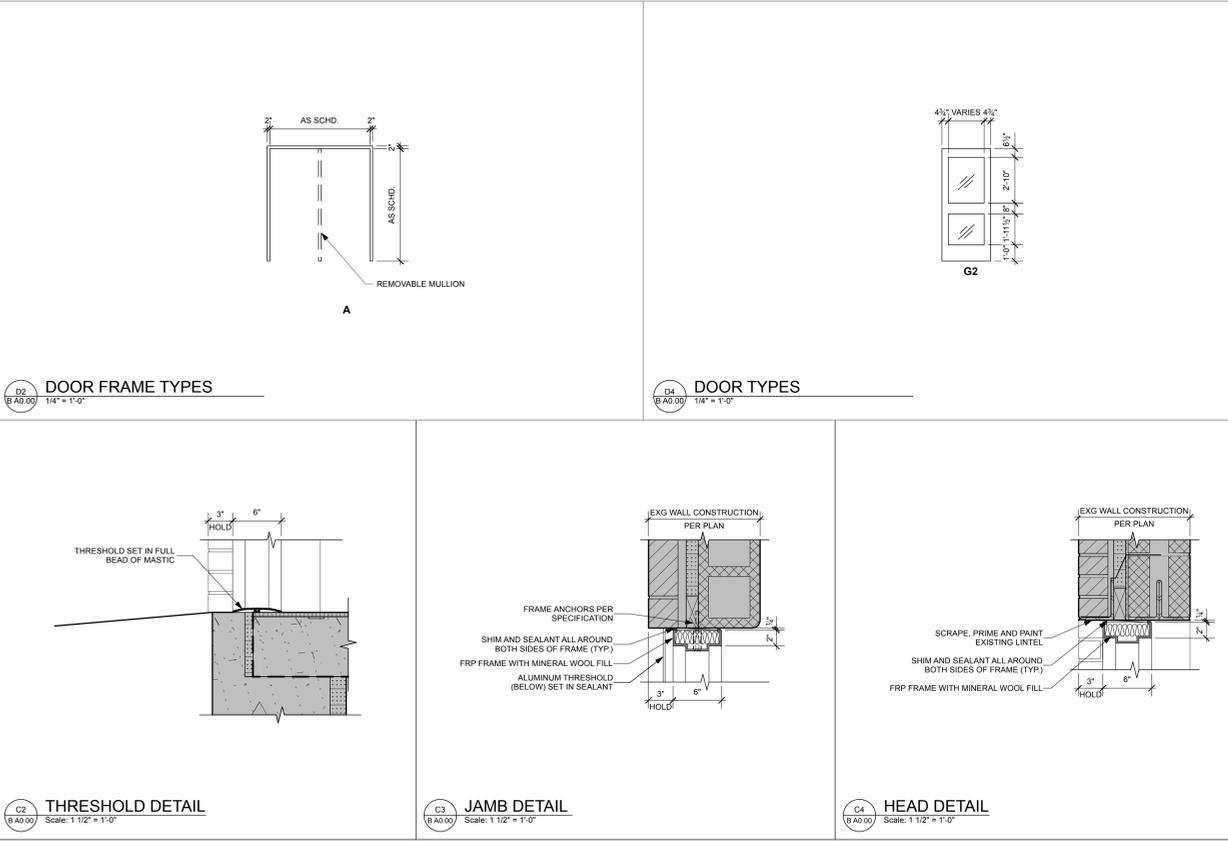
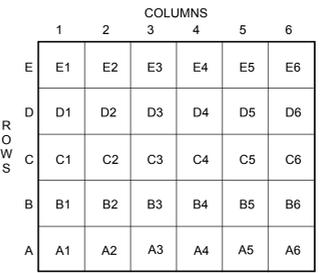
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DATE	DESCRIPTION
02/26/2025	ISSUED FOR BID
MARY	
DATE	DESCRIPTION
100% CONSTRUCTION DOCUMENTS	
DRAWING DATE:	12/01/2025
DRAWN BY:	BM
SCALE:	Sheet Scale
DRAWING TITLE:	SITE IMPROVEMENT PLANS

DOOR SCHEDULE															
DOOR		FRAME										ASSEMBLY		HDWR	KEYED NOTES
DOOR NO.	TYPE	WIDTH	HEIGHT	THICK.	MATERIAL	GLASS	TYPE	HEAD DETAIL	JAMB DETAIL	THRESHOLD DETAIL	MATERIAL	GLASS	ASSEMBLY LABEL	SET #	KEYED NOTES
FIRST FLOOR															
P20.3	P-G2	6'0"	7'2"	1 3/4"	AL	IG-T (S)	A	C4 / BA.00	C3 / BA.00	C2 / BA.00	FRP	--	--	01	1
P20.4	P-G2	6'0"	7'2"	1 3/4"	AL	IG-T (S)	A	C4 / BA.00	C3 / BA.00	C2 / BA.00	FRP	--	--	01	1
GENERAL NOTES															
A. "PY" INDICATES PAIR OF DOORS.															
B. REFER TO SPECIFICATION SECTION 088000 "GLAZING" FOR ALL GLAZING TYPES.															
C. FIELD VERIFY DEPTHS OF EXISTING WALLS SCHEDULED TO RECEIVE NEW DOORS / FRAMES.															
D. GLASS TYPES WITH SUFFIX 'S' SHALL INCLUDE SHOP APPLIED SECURITY GLAZING FILM ON ALL GLASS SURFACES INCLUDING DOORS AND ASSOCIATED FRAME GLAZING. SECURITY GLAZING TO BE PROVIDED ONLY AT DOORS AND SIDELITE UP TO 84" A.F.F. WHERE INDICATED.															
KEYED NOTES															
1. COORDINATE RE-INSTALLATION OF ACCESS CONTROL DEVICES AND WIRING WITH ELECTRICAL CONTRACTOR.															

DRAWING COORDINATE SYSTEM:

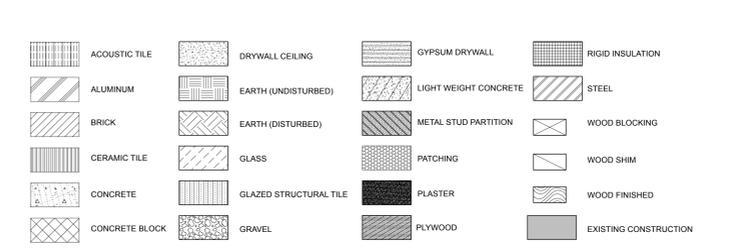
THE DRAWING COORDINATE SYSTEM IS USED TO STANDARDIZE NUMBERING FROM DRAWING TO DRAWING AND FROM PROJECT TO PROJECT. EACH SHEET SIZE IS BROKEN INTO COLUMNS AND ROWS STARTING AT THE BOTTOM LEFT CORNER OF THE SHEET. EACH QUADRANT IS NUMBERED ACCORDING TO ITS LOCATION ON THE GRID. THE ROW IS THE FIRST CHARACTER, AND IS ALWAYS A LETTER. THE COLUMN IS THE SECOND CHARACTER, AND IS ALWAYS A NUMBER.



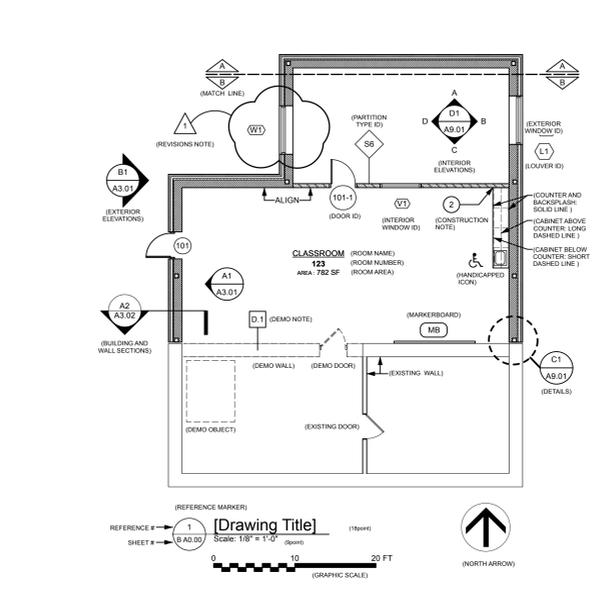
ABBREVIATIONS

<ul style="list-style-type: none"> @ at ACM asbestos containing material ADJ adjustable AFF above finish floor AL aluminum ALT alternate AP access panel APPROX approximate ARCH architectural ASSY assembly AVS average AWP acoustic wall panel BD board BLDG building BLDG backing BM bench mark BOT bottom BO bottom of BR bumper rail BS backspace/both sides BMT basement BLRT built-up roof C courses CL center line CB chalkboard CC cubical curtain CFMF cold form metal framing CFT cubic foot CG corner guard CJ control joint CL closet CLC ceiling CLS clear CMT ceramic mosaic tile CMU concrete masonry unit COL column CONC concrete CONST construction CONT continue or continuous CONV connector COORD coordinate CPT carpet CSWK casework CT ceramic tile CTR counter CW curtailwall CWT ceramic wall tile CV or GALV galvanized DWF drinking fountain DHW domestic hot water DIA diameter DIM dimension DN down 	<ul style="list-style-type: none"> DIV division DPO deck plate clean out DR door DTL or DET detail DWG drawing E east EA each EB expansion bolt EF exhaust fan EFS exterior insulation finish system EL or ELEV elevation ELEC electric ENGR engineer EPDM ethylene propylene diene monomer EQ equal EQIP EQUIP equipment ETC etcetera EWG electric watercooler EJ expansion joint EXCA excavation EXG existing EXP expansion EXT exterior FAB fabric FD floor drain FE fire extinguisher FQ face of FF finish floor FIN finish FIN FLR finished floor FLR floor FRP foundation FR floor of FR fire rated FRG fire rated glass FRP fiber reinforced panel FSTN construction FTG footing FUR furred FWC fabric wall covering GA gauge GB grab bar GCT glazed ceramic tile GD, GR grate GL glass GPW gypsum drywall GV or GALV galvanized GWT glazed wall tile GYP gypsum HAR hollow metal HORIZ horizontal 	<ul style="list-style-type: none"> HPC high performance coating HRS hour HT, HGT height HVAC heating, ventilating & air conditioning HW hardware HWD hardwood ID inside diameter IG insulating glass INS, INSUL insulation INT interior INV in/rise ITFG insulated temp. float glass INFO information IWB interactive white board IST just JC JAN janitor's closet JT joint KP kickplate LN linoleum LKR locker LOC location LLH long leg horizontal LLV long leg vertical MAS masonry MAX maximum MB markerboard MECH mechanical MEMB membrane MEJ masonry expansion joint MET metal MFR manufacturer(ies) MIL 1/1000' MIS misc MISC miscellaneous MO masonry opening MS machine screw MT, MTD mount(ed) MTG mounting MTL material NO # number N north NAV not in contract NCM nominal NTS not to scale OC on center OD outside diameter OF/CI owner furnished/contractor installed OH opposite hand OHD overhead door 	<ul style="list-style-type: none"> OPG opening OPF opposite PAR parallel PC piece PCC precast concrete PCT porcelain tile PREFAB prefabricated PFN finished PLAM plastic laminate PLAS plaster PLMB plumbing(er) PL plate PNL panel PT paint PRR pair PT pressure treated PRF preformed PSI pounds per square inch PWD, PLYWD plywood QT quarry tile EXG existing RAD radius RB rubber base RD roof drain RE reinforced(ing) REF reference REQ required REV (revision), revised RFT rubber floor tile RFG roofing RM room RO rough opening RSF resilient sports flooring RSL rubber stair landings RSR rubber stair risers RST rubber stair treads RT rubber tile RWC rainwater conductor S south SC stained concrete SCHD, SCHED schedule SECT section SFCMS split face cmu SF, SQFT square foot SGT structural glazed facing tile SHT sheet SIB sibilant SM, SQIN square inch SK sink SPEC specification SQ square SS solid surface SST stainless steel ST steel 	<ul style="list-style-type: none"> STA station STD standard STF stiffener STN stain STOR storage STRUCT structural SUSP suspended(ed) SVF sheet vinyl flooring SV, SQVD square yard T tread TB tackboard T&B top and bottom T&G tongue and groove TEMP temperature TERS, TZ terrazzo TH, THK thickness THD threshold TLT, TOL toilet TO top of TCC, T/C top of concrete TOF, T/F top of footing TOJ top of joint TOM top of masonry TOW top of wall TP translucent panel TPO thermoplastic polyolefin TYP typical UL Underwriters Laboratories, Inc. UNO unisex noted otherwise VAT vinyl asbestos tile VB vapor barrier VCI vinyl composition tile VERT vertical VEST vestibule VFI verify in field VWF vinyl wall fabric VIN vinyl VWC vinyl wall covering W wide, with W/WP without WCW wall covering WD wood WDV wood veneer finish WI wrought iron WB window WS waterstop or weatherstripping WP wall protection WCST wainscot WT weight WWM welded wire mesh
---	--	--	--	--

MATERIAL INDICATION



GRAPHIC SYMBOLS



KING + KING PROJ. NO. 23-44-8764

SED PROJECT NUMBERS:
 A: JHSR HIGH SCHOOL: 89-03-01-04-0-201-015
 B: ELEMENTARY SCHOOL: 89-03-01-04-0-003-013
 C: BUS GARAGE: NO WORK



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DATE	ISSUED FOR	DESCRIPTION
02/26/2024	ISSUED FOR BID	

100% CONSTRUCTION DOCUMENTS
 DRAWING DATE: 12/01/2023
 DRAWN BY: ZLO / EMR

SCALE: Sheet Scale
 DRAWING TITLE:
LEGEND, SYMBOLS AND DOOR SCHEDULE & DETAILS

B A0.00

KING + KING PROJ. NO.: 25-44-8764

SED PROJECT NUMBERS:
 A: JR/SR HIGH SCHOOL: 69-03-01-04-0-001-015
 B: ELEMENTARY SCHOOL: 69-03-01-04-0-003-013
 C: BUS GARAGE: NO WORK



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DATE	ISSUED FOR	DESCRIPTION
02/26/2025	ISSUED FOR BID	

100% CONSTRUCTION DOCUMENTS
 DRAWING DATE: 12/01/2024
 DRAWN BY: ZLOJ/EMR

SCALE: Sheet Scale
 DRAWING TITLE:

DEMOLITION PLAN - PARTIAL FIRST FLOOR

B A0.01

GENERAL DEMOLITION NOTES

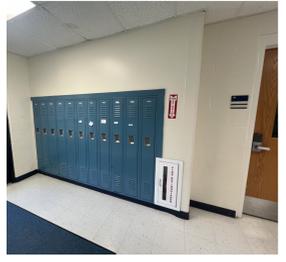
- GN-1 THE GENERAL CONTRACTOR SHALL REFER TO SPECIFICATION SECTION 011100 "SUMMARY OF WORK" FOR A GENERAL DESCRIPTION OF THE SCOPE OF WORK ASSOCIATED WITH DEMOLITION.
- GN-2 THE GENERAL CONTRACTOR SHALL REFER TO SPECIFICATION SECTION 017329 "CUTTING & PATCHING" FOR DETERMINING RESPONSIBILITY OF CUTTING AND PATCHING OF EXISTING AND/OR NEW WALLS, FLOORS, ROOFS, ETC. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING WITH HVAC, ELECTRICAL, FLOORING, AND ROOFING DRAWINGS FOR ANY ADDITIONAL DEMOLITION WORK ASSOCIATED WITH CUTTING & PATCHING.
- GN-3 ALL EXISTING STRUCTURE, FINISHES, AND EQUIPMENT TO REMAIN SHALL BE PROTECTED FROM DAMAGE. EXISTING STRUCTURE, FINISHES, AND EQUIPMENT DAMAGED OR REMOVED DUE TO DEMOLITION OR NEW WORK SHALL BE REPAIRED AND/OR PATCHED WITH MATCHING CONSTRUCTION AND FINISHES.

KEYED DEMOLITION NOTES

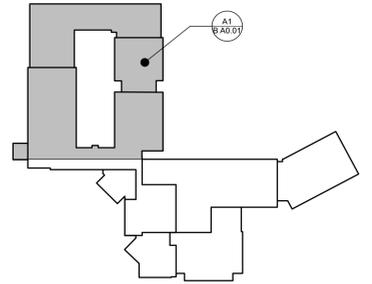
- A. DOOR DEMOLITION
 - A.1 REMOVE FRP DOOR, FRAME, HARDWARE, AND ALL ATTACHMENTS COMPLETE. PREPARE OPENING FOR NEW DOOR, FRAME, AND HARDWARE AS SCHEDULED.
- C. LOCKER DEMOLITION
 - C.1 REMOVE LOCKERS AND TRIM. TURN LOCKERS OVER TO OWNER. RECONSTRUCT ANY WALL OR BASE DAMAGE AND PREPARE RECESS FOR INSTALLATION OF NEW LOCKERS.



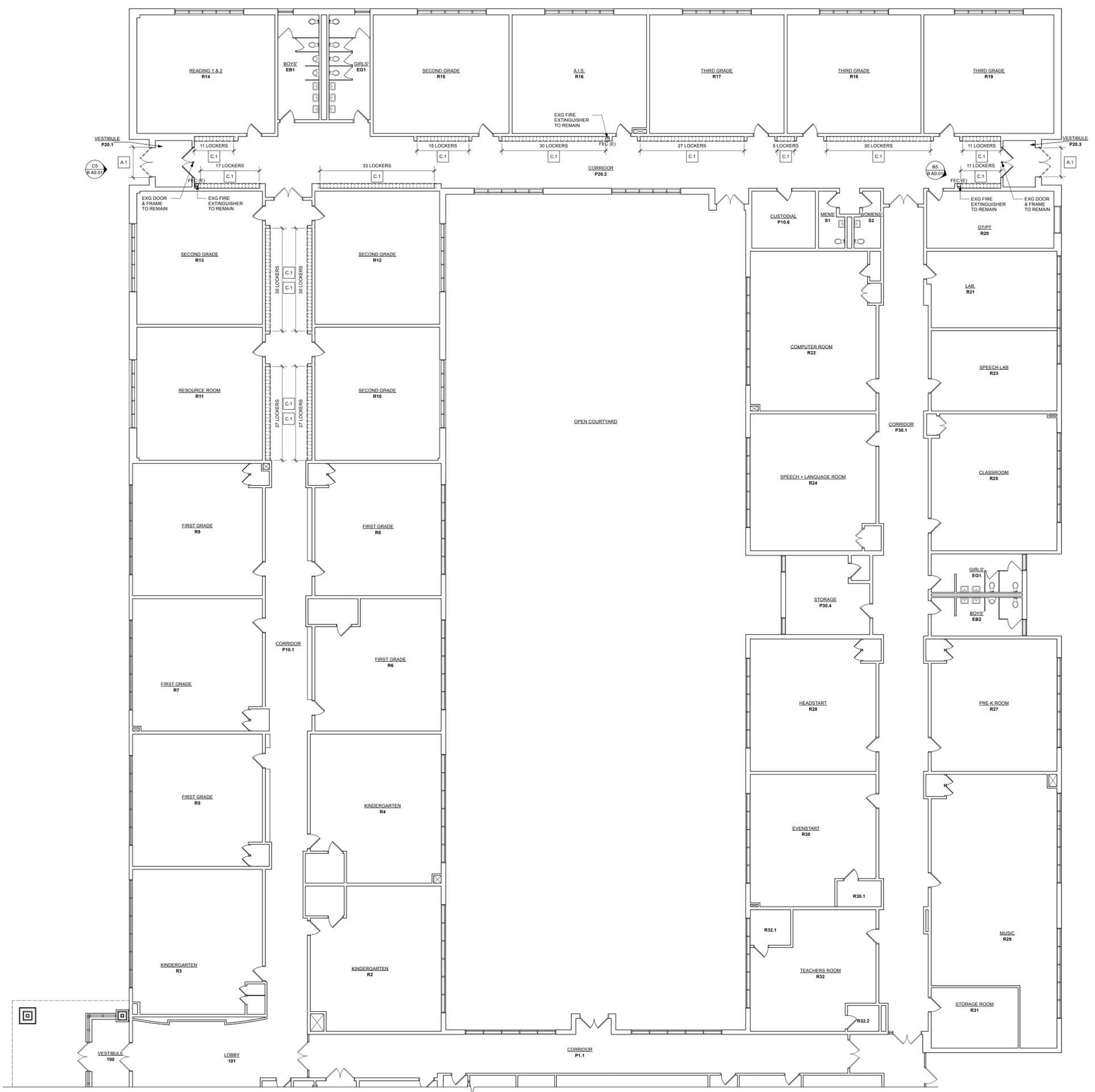
C5 (R A0.01) TYP PHOTO OF DOOR DEMO
Scale: NOT TO SCALE



B5 (R A0.01) TYP PHOTO OF LOCKERS TO BE REMOVED
Scale: NOT TO SCALE



TRUE PROJECT NORTH
 NORTH
 KEY PLAN



A1 (R A0.01) DEMOLITION PLAN - PARTIAL FIRST FLOOR
 Scale: 1/8" = 1'-0"

PROJECT TRUE NORTH
 NORTH

KING + KING PROJ. NO.: 23-44-8764
 SED PROJECT NUMBERS:
 A: JHSR HIGH SCHOOL: 80-03-01-04-0-001-015
 B: ELEMENTARY SCHOOL: 80-03-01-04-0-003-015
 C: BUS GARAGE: NO WORK



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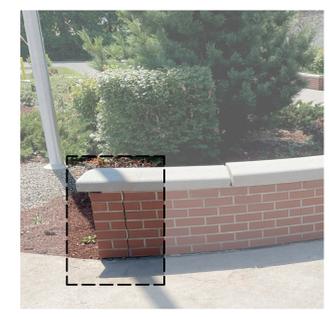
MARK	DATE	DESCRIPTION
	02/26/2023	ISSUED FOR BID
A2	12/01/2025	100% CONSTRUCTION DOCUMENTS
		DRAWING DATE: 12/01/2025
		DRAWN BY: RR
		SCALE: Sheet Scale
		DRAWING TITLE:

CONSTRUCTION PLAN - PARTIAL FIRST FLOOR - EXTERIOR ELEVATION

B A1.02

GENERAL CONSTRUCTION NOTES

- THESE NOTES APPLY TO EXISTING SPACES AND BUILDING CONSTRUCTION AFFECTED BY THE WORK. SEE ALSO GENERAL DEMOLITION NOTES, GENERAL REFLECTED CEILING PLAN NOTES, GENERAL PARTITION NOTES, ETC.
- WHERE SPECIFIC NOTES CONFLICT WITH GENERAL NOTES, THE SPECIFIC NOTES SHALL GOVERN.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD. AT EXG. PARTITIONS DIMENSIONS ARE TAKEN FROM FACE OF EXG. FINISH.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND QUANTITIES PRIOR TO BIDDING.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, SCHEDULES, AND SPECIFICATIONS FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. REFER TO SUPPLEMENTARY GENERAL CONDITIONS FOR FURTHER INFORMATION REGARDING CONSTRUCTION DOCUMENTS.
- WHERE EXISTING EQUIPMENT CASEWORK WAS REMOVED FROM EXISTING WALLS, PATCH WALLS TO MATCH ADJACENT EXISTING SURFACES OR TO RECEIVE NEW FINISHES AS SCHEDULED.
- WHERE NEWLY EXPOSED SURFACES ARE TO REMAIN EXPOSED IN THE COMPLETED WORK, CONTRACTORS SHALL PATCH SURFACES WITH IN-KIND MATERIAL TO LIKE-NEW CONDITION, SUBJECT TO THE ARCHITECT'S APPROVAL.
- DURING THE COURSE OF WORK, IF EXISTING CONSTRUCTION INDICATED TO REMAIN IS DAMAGED THE CONTRACTOR SHALL REPAIR OR REPLACE WITH IN-KIND MATERIAL TO LIKE-NEW CONDITION AT NO EXPENSE TO THE OWNER, SUBJECT TO THE ARCHITECT'S APPROVAL.

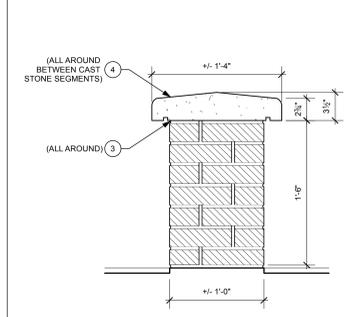


BRICK REMOVAL / REPLACEMENT LOCATION

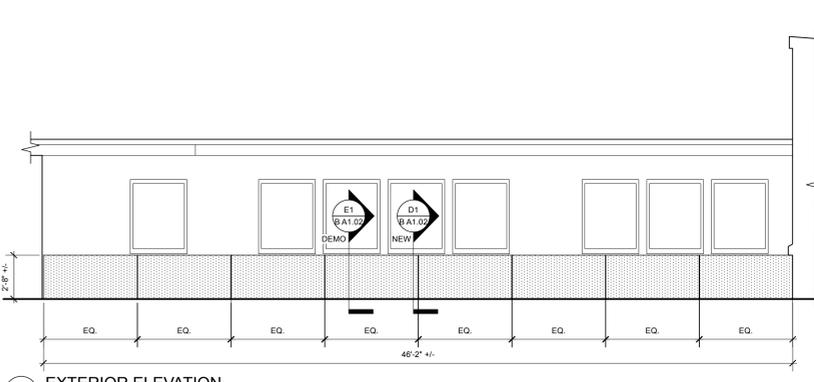
KEYED CONSTRUCTION NOTES

NOTE: REFER TO SHEET B/A1.02 FOR GENERAL CONSTRUCTION NOTES. NOT ALL KEYED CONSTRUCTION NOTES APPLY TO THIS SHEET.

- INSTALL METAL LOCKERS IN EXG. RECESS AND MATCHING TRIM. REFER TO CONSTRUCTION PLAN FOR QUANTITY AND DETAIL B8/B A1.01.
- EXG FIRE EXTINGUISHER CABINET AND SIGNAGE TO REMAIN. NOTCH METAL LOCKER TRIM AROUND CABINET AS NEEDED. REFER TO INTERIOR ELEVATION D6/B A1.01 AND DETAIL C6/B A1.01.
- CONTRACTOR SHALL CUT OUT AND REPOINT THE EXISTING MORTAR AT THE JOINT BETWEEN ALL CAST STONE CAPS AND THE BRICK CONSTRUCTION BELOW (ALL AROUND INCLUDING THE SITESWALL ENDS). REPOSITION ANY CAPS THAT HAVE BEEN DISLOADED TO ALIGN WITH REMAINING ORIGINAL CONSTRUCTION.
- CONTRACTOR SHALL COMPLETELY REMOVE ALL EXISTING MORTAR BETWEEN CAST STONE BENCH GAPS. CREATE A CLEAN SOUND JOINT AND INSTALL NEW BACKER ROD AND SEALANT AT ALL TOP AND SIDE CAP SURFACES.
- CONTRACTOR TO REMOVE AND REPLACE DAMAGED (QTY 16) BRICK AT THIS LOCATION. NEW BRICK AND MORTAR TO MATCH EXISTING. CONTRACTOR SHALL PROVIDE PATCH TO MATCH TUCK POINTING OF ALL OPEN OR COMPROMISED MORTAR JOINTS AT BRICK CONSTRUCTION ALL SURFACES INCLUDING THE BOTTOM MOST JOINT BETWEEN MASONRY AND THE FOUNDATION. REFER TO PHOTO E5/B A1.02.



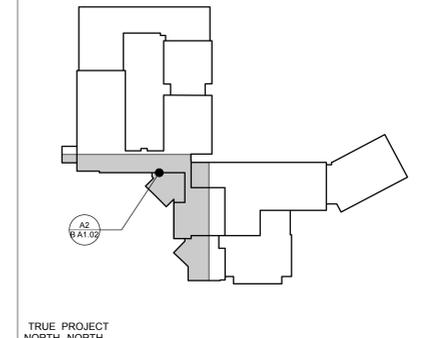
SECTION - TYPICAL BRICK SEATING



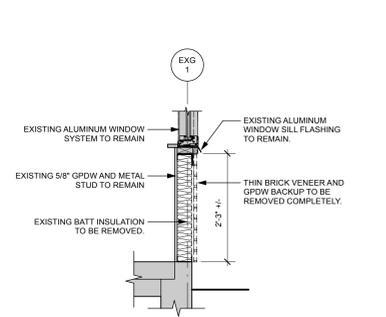
EXTERIOR ELEVATION



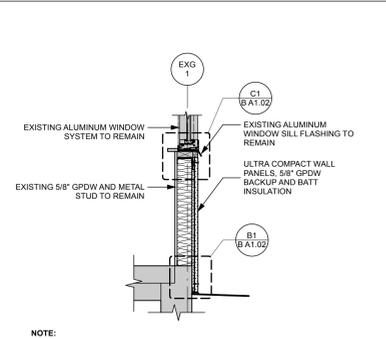
CONSTRUCTION PLAN - PARTIAL FIRST FLOOR



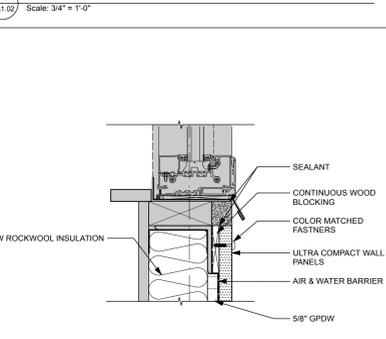
KEY PLAN



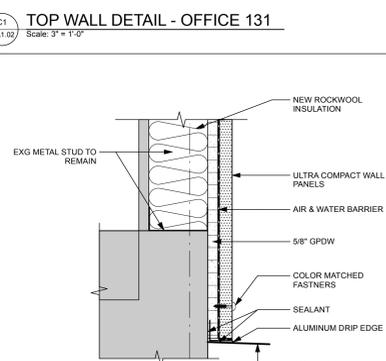
PARTIAL WALL SECTION - OFFICE 131 - DEMO



PARTIAL WALL SECTION - OFFICE 131 - NEW



TOP WALL DETAIL - OFFICE 131

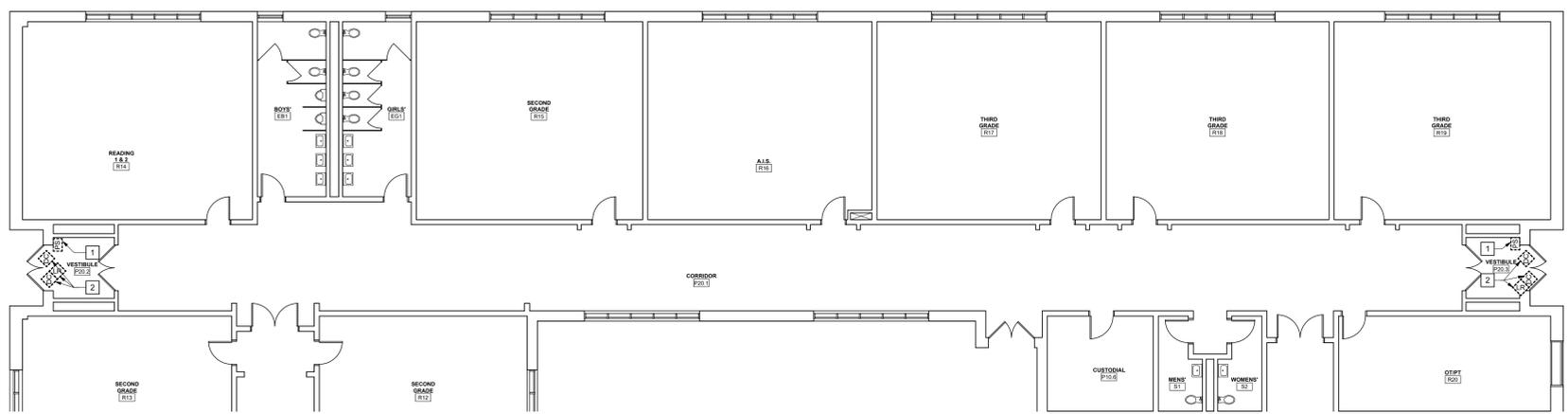


BOTTOM WALL DETAIL - OFFICE 131

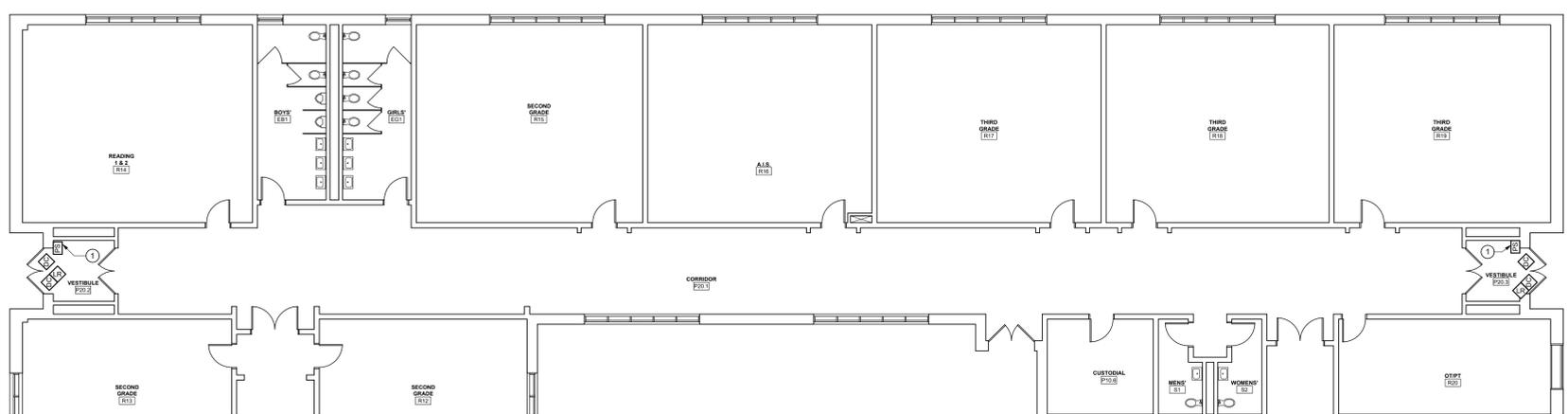
CONSTRUCTION PLAN - PARTIAL FIRST FLOOR

REMOVAL NOTES:
1. DISCONNECT AND REMOVE EXISTING 120V POWER SUPPLY AND LOW-VOLTAGE WIRING TO LATCH RETRACTION MAINTAIN 120V BRANCH CIRCUIT FOR REUSE.
2. DISCONNECT AND REMOVE DOOR CONTACTS MAINTAIN WIRING FOR EXTENSION TO NEW DOOR CONTACTS.

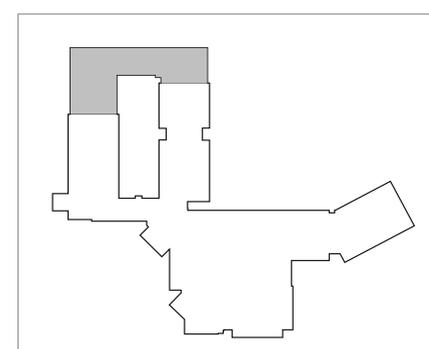
DRAWING NOTES:
1. INSTALL 120VOLT/240 POWER SUPPLY, RECONNECT TO EXISTING 120V BRANCH CIRCUIT.



1 PARTIAL FIRST FLOOR - ELECTRICAL DEMOLITION PLAN
1/8" = 1'-0"



2 PARTIAL FIRST FLOOR - ELECTRICAL PLAN
1/8" = 1'-0"



TRUE PROJECT
NORTH NORTH
KEY PLAN

KING + KING PROJ. NO.: 24-44-8764

SED PROJECT NUMBERS:
A: HIGH SCHOOL ACADEMY: 65-63-01-04-0-001-015
B: ELEMENTARY SCHOOL: 65-63-01-04-0-003-013
C: BUS GARAGE: NO WORK



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12/26/2024	ISSUED FOR BID	
MARK	DATE	DESCRIPTION
100% Construction Documents		
DRAWING DATE: 12/01/2024		
DRAWN BY: JCH		
SCALE: AS NOTED		
DRAWING TITLE:		
FIRST FLOOR PLAN - POWER & SYSTEMS		